





HEALTHCARE FACILITIES

OWNER

DISTRICT OF COLUMBIA

**VISION MCMILLAN PARTNERS
DEVELOPMENT TEAM**

EYA

JAIR LYNCH DEVELOPMENT PARTNERS

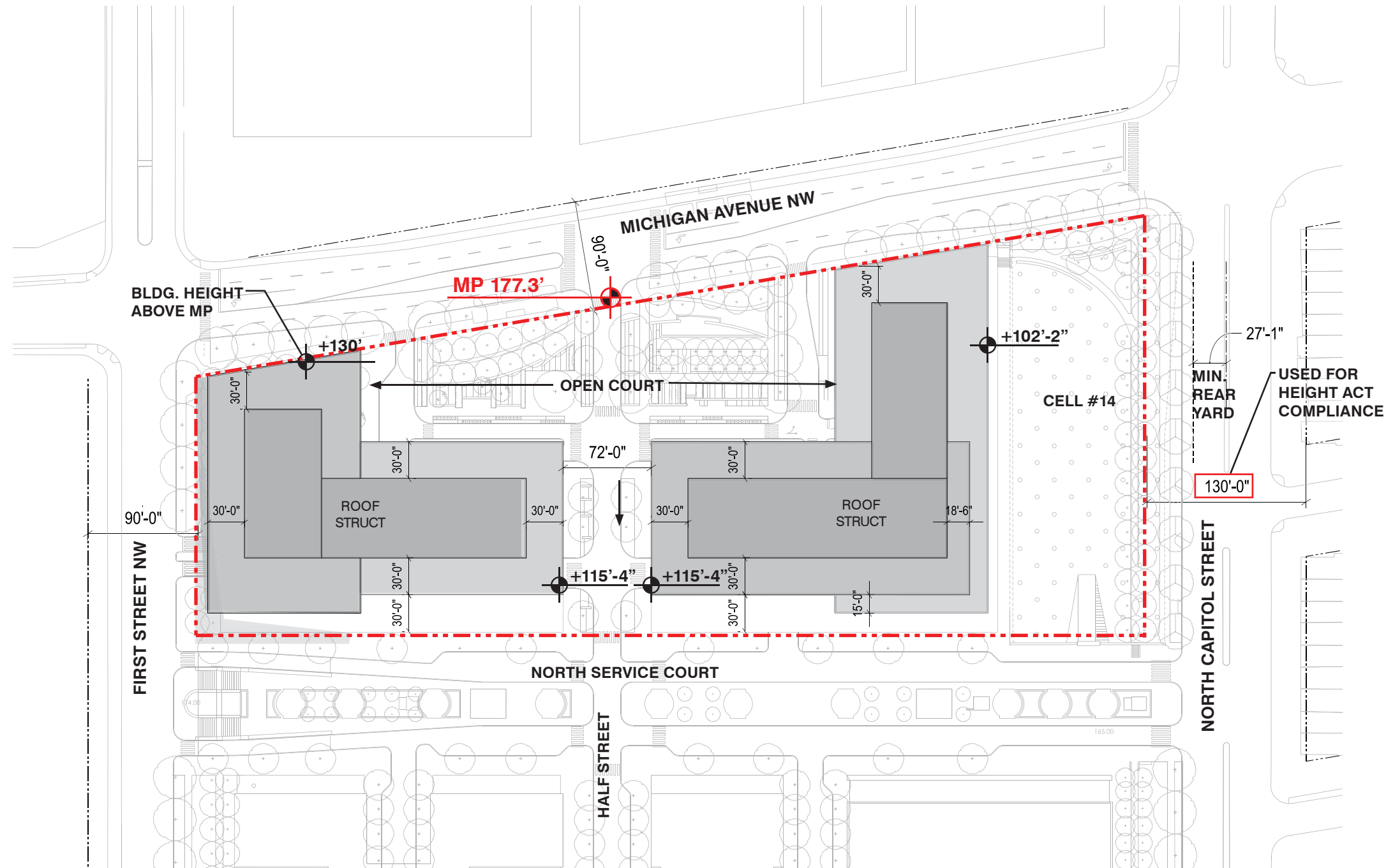
TRAMMELL CROW COMPANY

PROJECT DIRECTOR

ANNE L. CORBETT

ARCHITECT

SHALOM BARANES ARCHITECTS

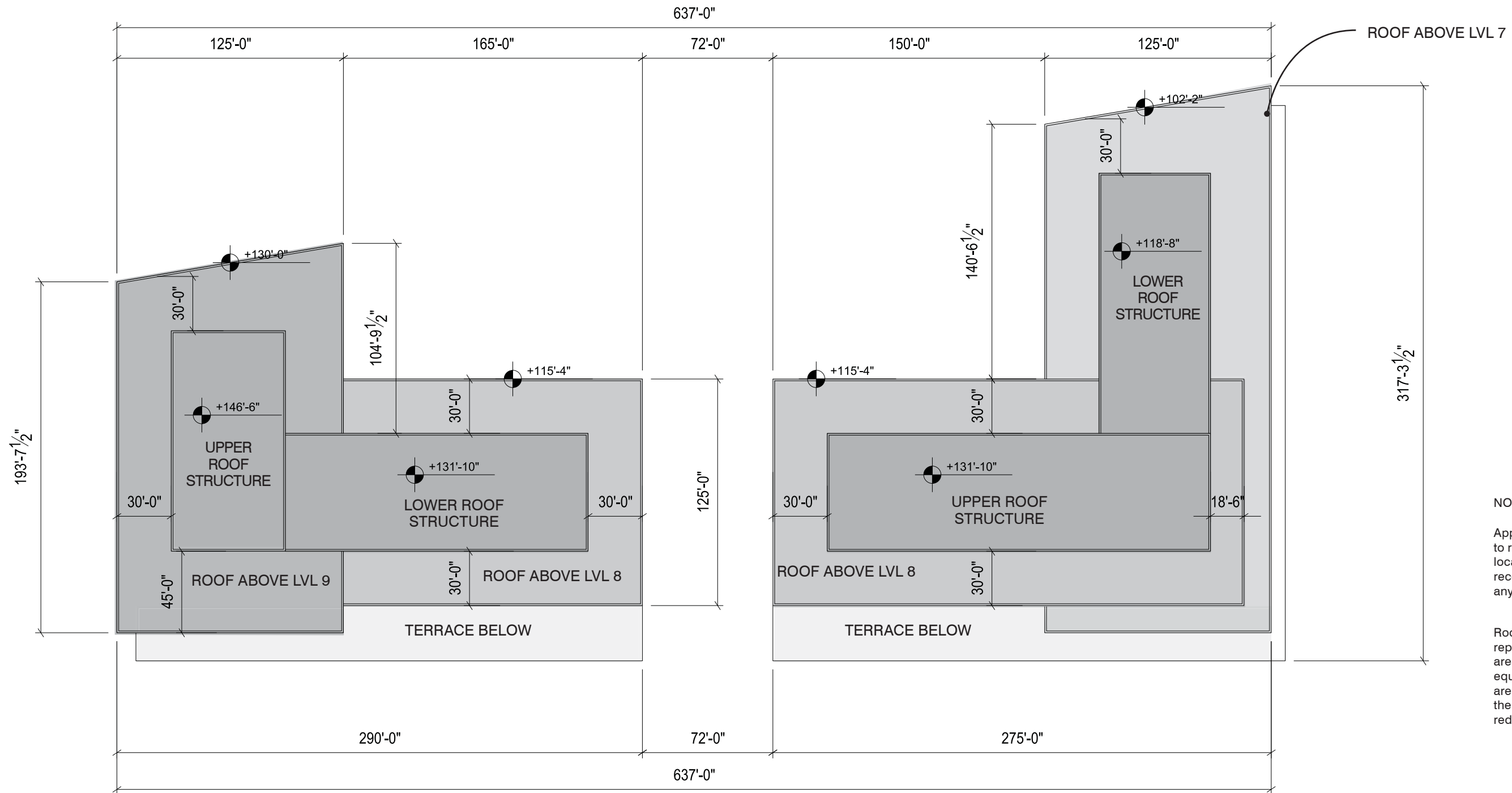


REQUIRED BY DCMR11

1. When roof levels vary by one (1) floor or more or when separate elevator cores are required, there may be one (1) enclosure for each elevator core at each roof level (§411.4). The proposed building has four (4) enclosures, one for each elevator core.

2. Housing for mechanical equipment shall be set back from all exterior walls a distance at least equal to its height above the roof upon which it is located (§770.6). All roof structures will be set back a minimum of 1:1, final dimensions may vary.

3. Applicant requests flexibility to reconfigure penthouse location and layout so long as reconfiguration does not require any zoning relief.



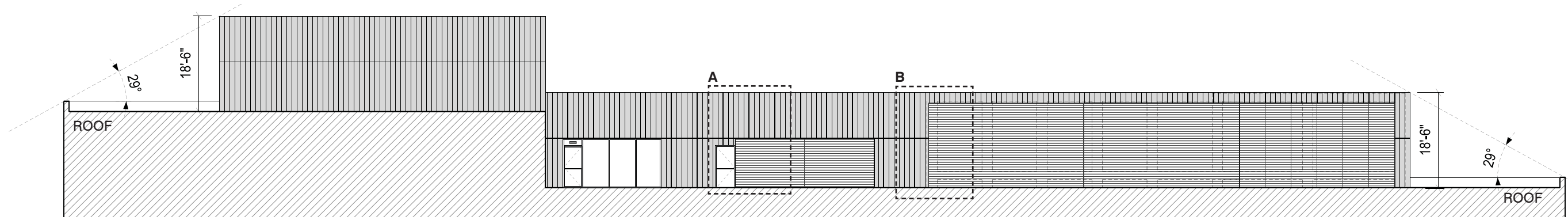
NOTES:

Applicant requests flexibility to reconfigure penthouse location and layout so long as reconfiguration does not require any zoning relief.

Roof structure area shown represents a maximum area for mechanical rooftop equipment. Once MEP systems are designed, it is expected for the roof structure area to be reduced.



TYPICAL ROOF STRUCTURE ELEVATION & KIT OF PARTS

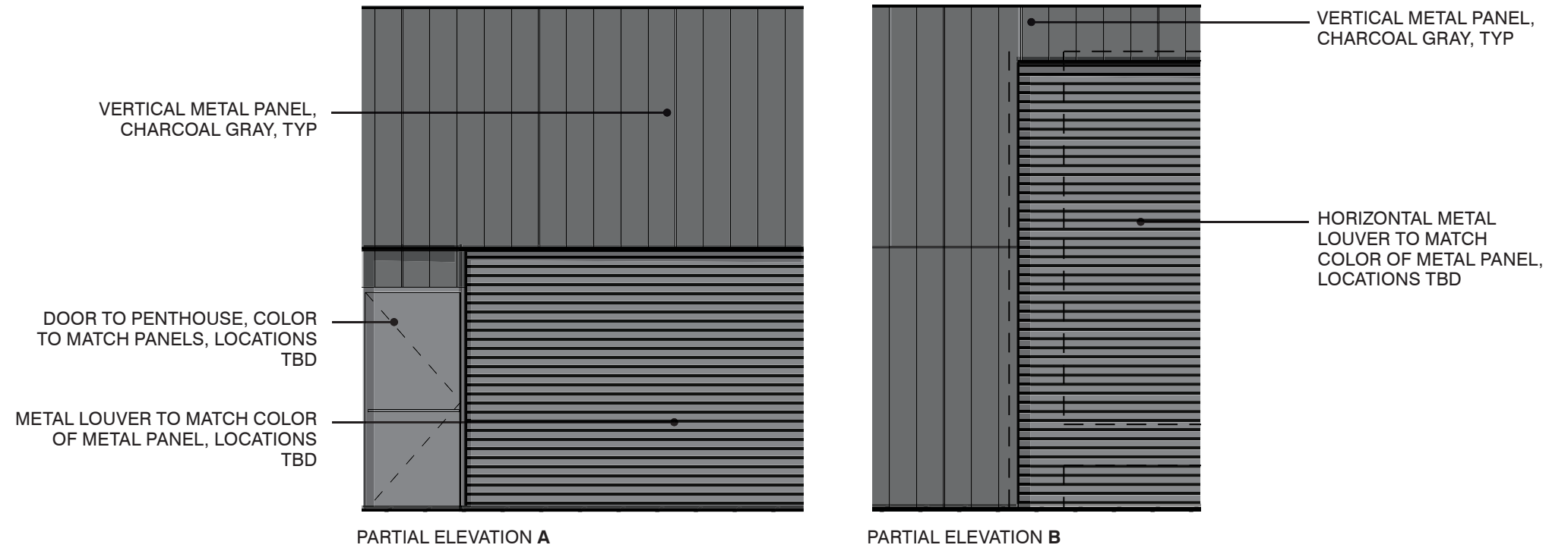
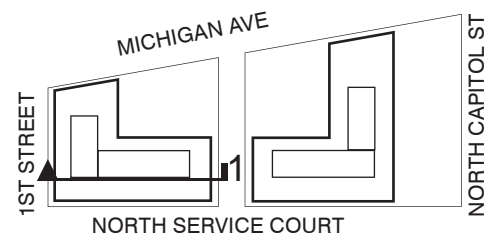


WEST BUILDING SOUTH PENTHOUSE ELEVATION 1

1. Flexibility is requested to vary the final selection of the exterior materials within the color ranges and general material types proposed, based on availability at the time of construction without reducing the quality of materials.

2. Flexibility is requested to make minor refinements to exterior details and dimensions, including belt courses, sills, bases, cornices, railings and trim, or any other changes to comply with the building codes or that are otherwise necessary to obtain a final building permit.

3. Applicant requests flexibility to reconfigure penthouse location and layout so long as reconfiguration does not require any zoning relief.

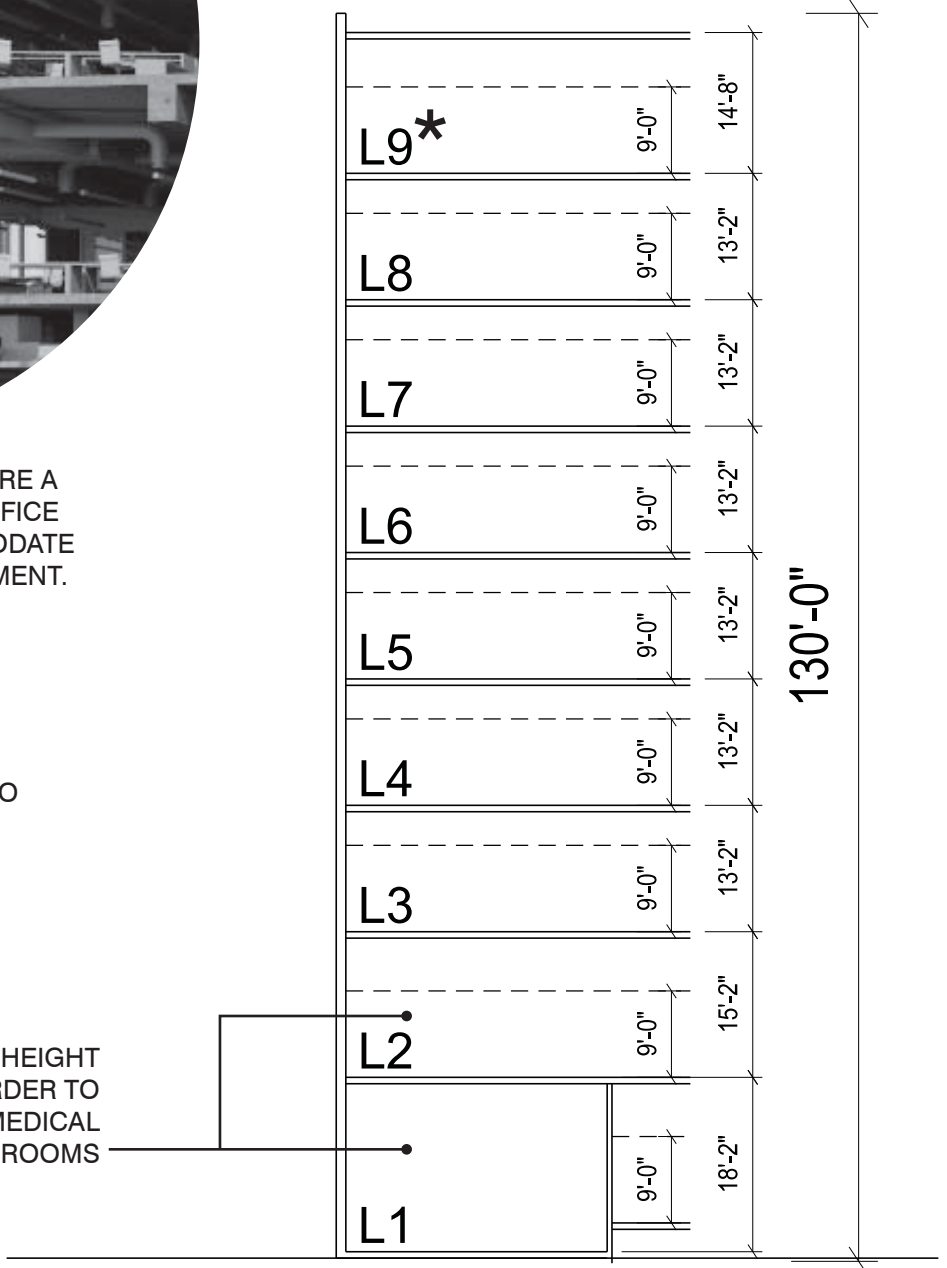




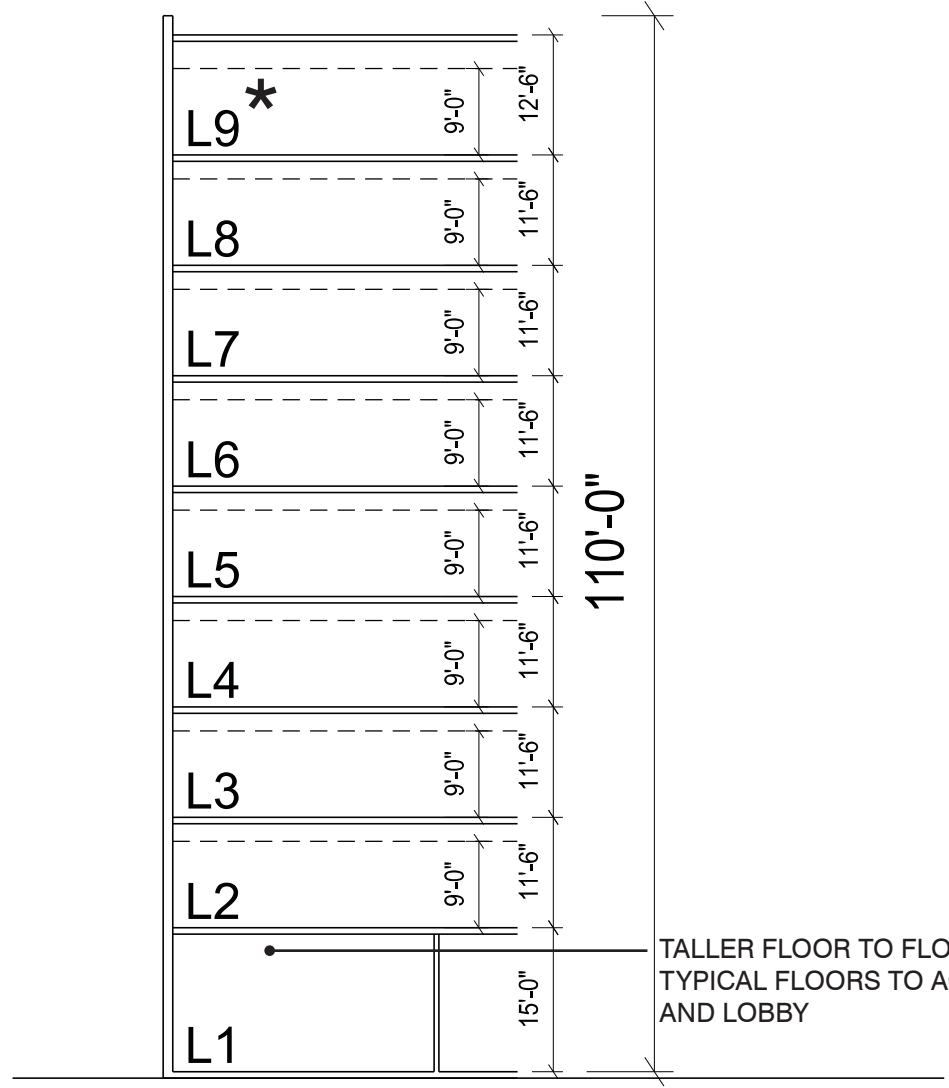
MEDICAL OFFICE BUILDINGS REQUIRE A DEEPER PLENUM THAN TYPICAL OFFICE BUILDINGS IN ORDER TO ACCOMMODATE MEDICAL AND MECHANICAL EQUIPMENT.

* TALLER FLOOR TO FLOOR HEIGHT THAN TYPICAL FLOORS IN ORDER TO ACCOMMODATE ROOF DRAINS AND MECHANICAL TRANSFERS

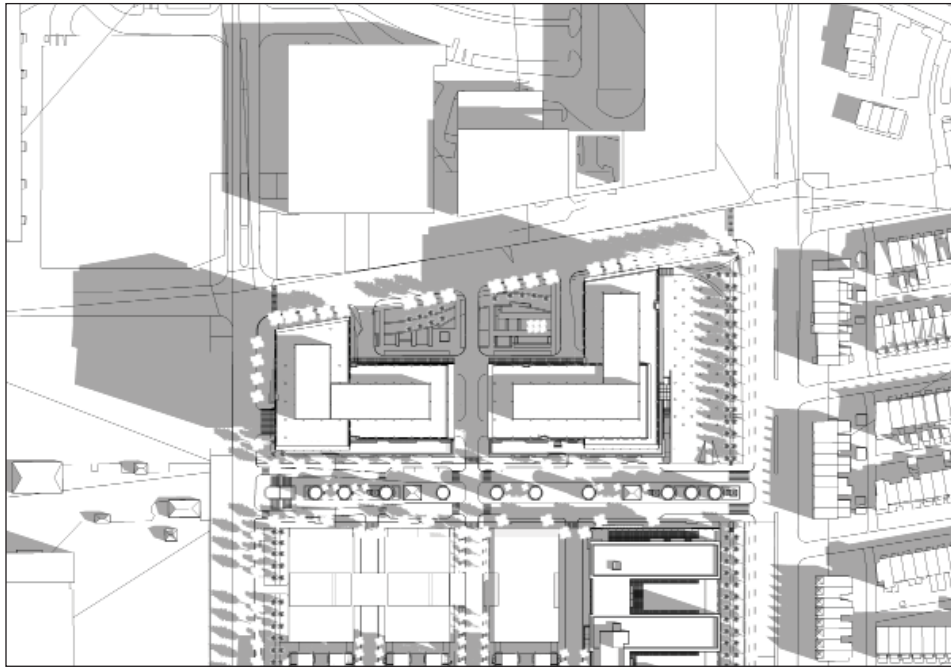
TALLER FLOOR TO FLOOR HEIGHT THAN TYPICAL FLOORS IN ORDER TO ACCOMMODATE POSSIBLE MEDICAL EQUIPMENT, INCLUDING OPERATING ROOMS



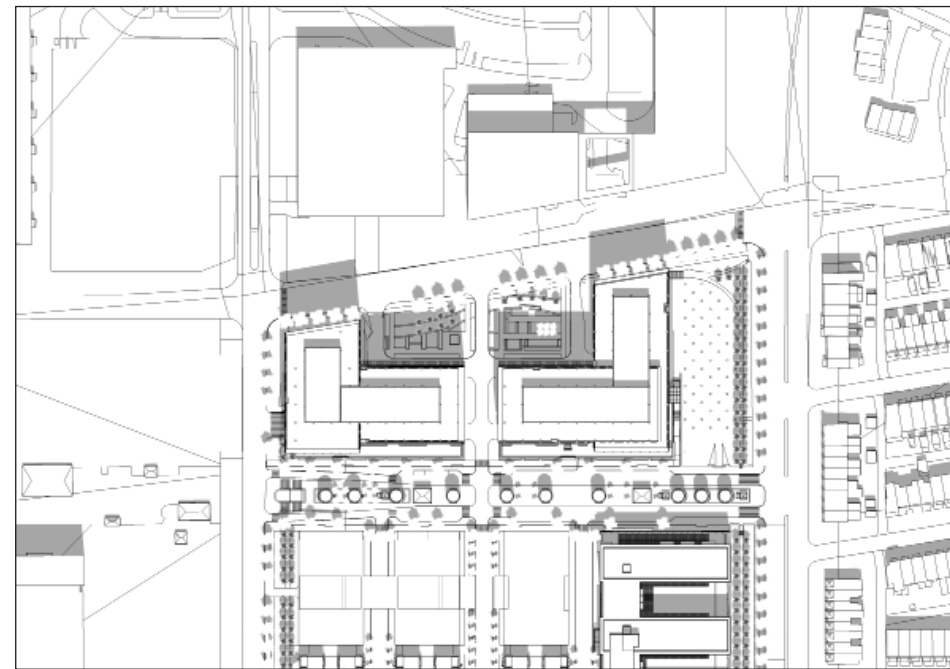
9 STORY MEDICAL OFFICE BUILDING (AS PROPOSED)



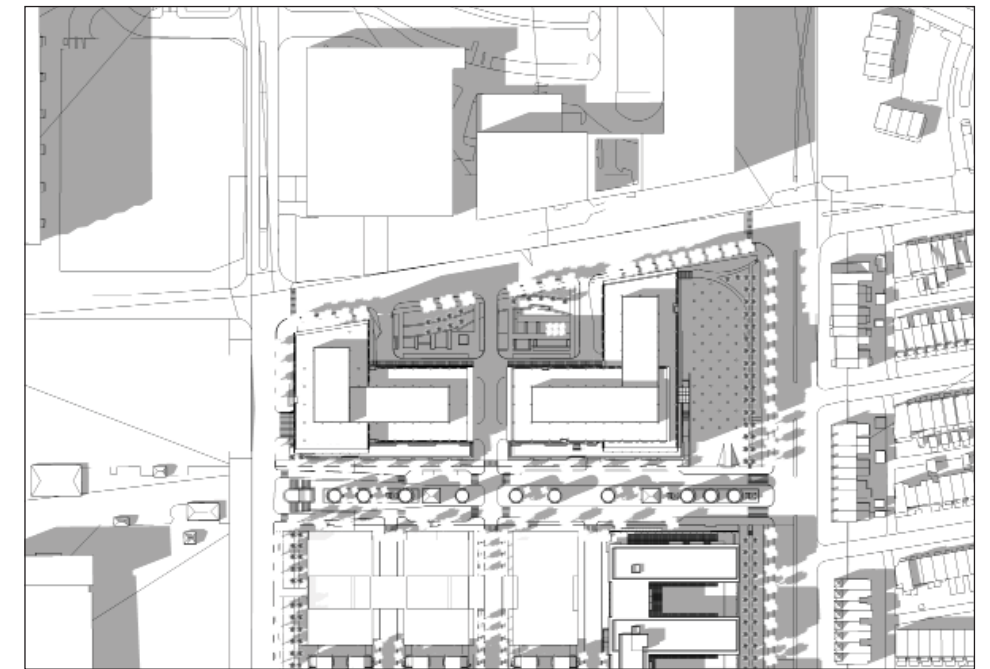
9 STORY TYPICAL DC OFFICE BUILDING (FOR COMPARISON PURPOSES ONLY)



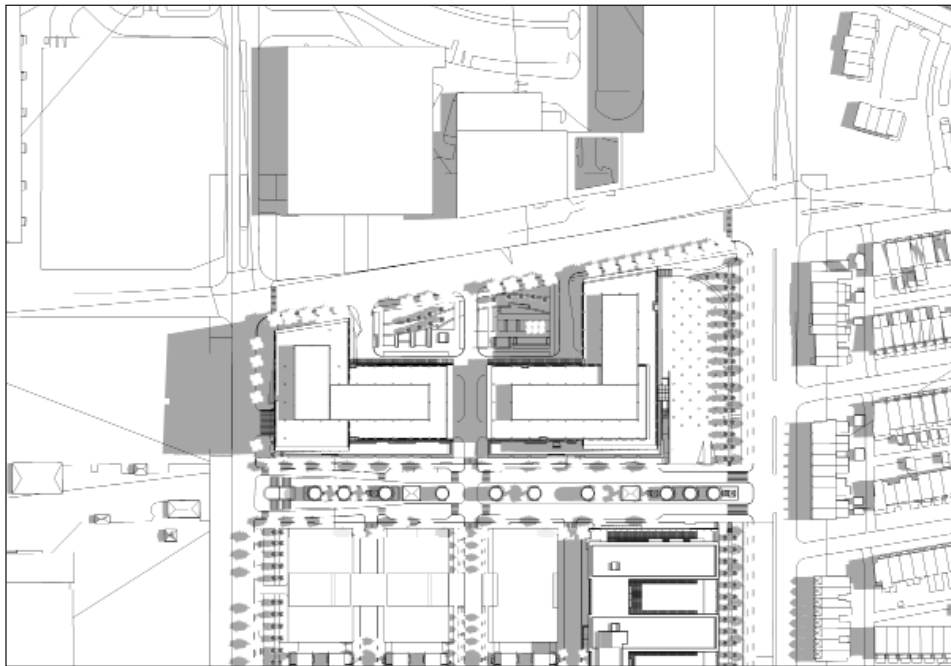
MARCH 21st 8:00am



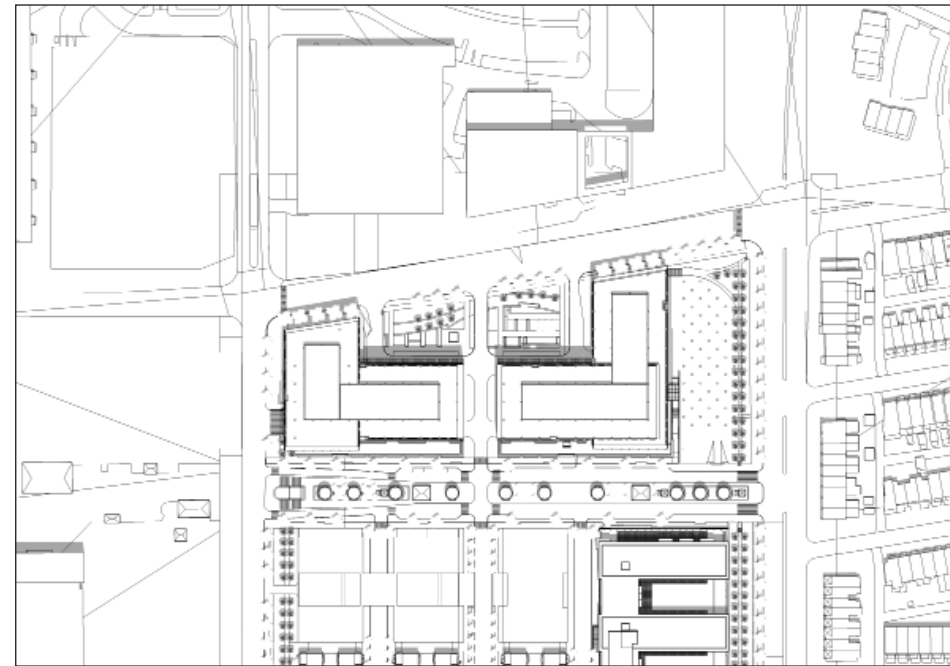
MARCH 21st 12:00pm



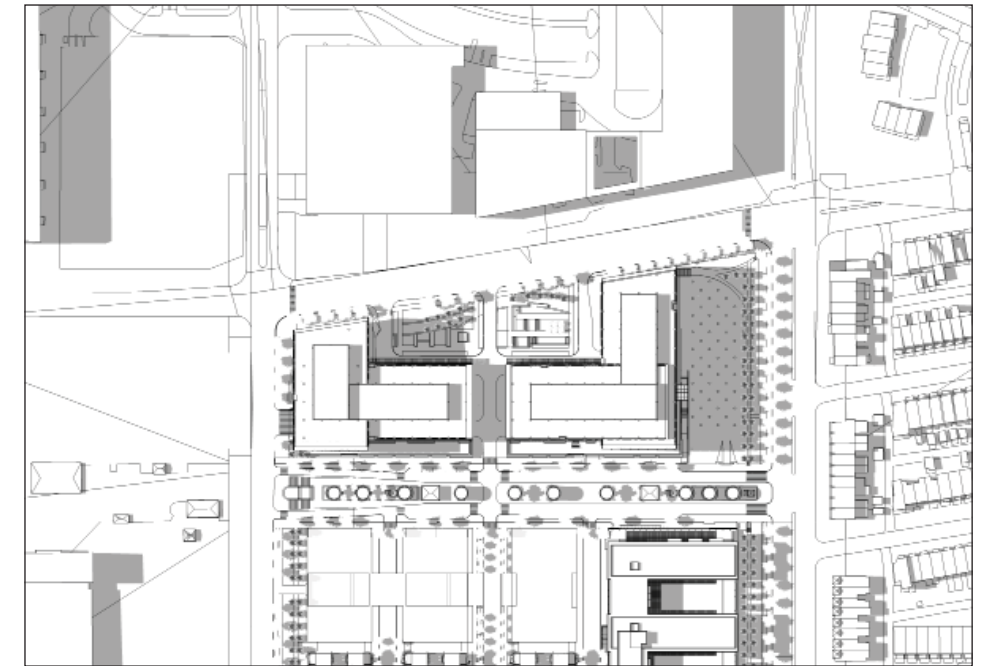
MARCH 21st 4:00pm



JUNE 21st 8:00am

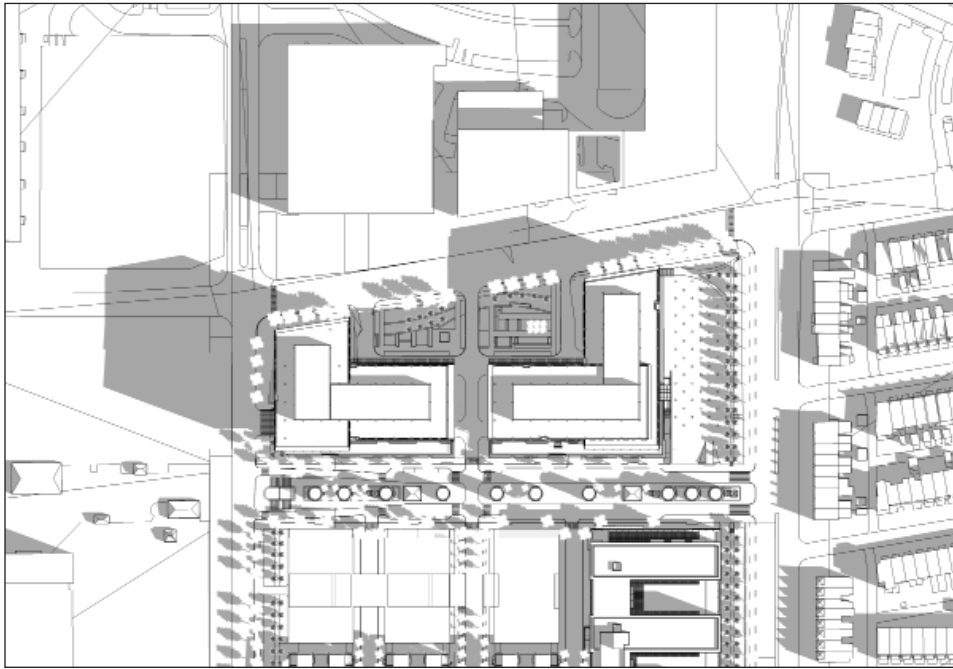


JUNE 21st 12:00pm

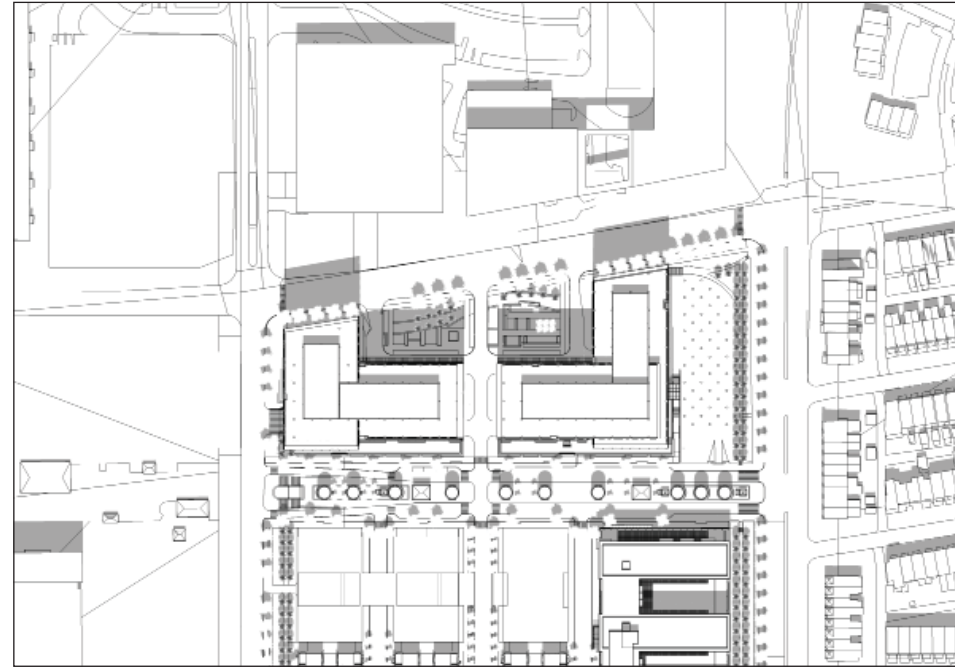


JUNE 21st 4:00pm

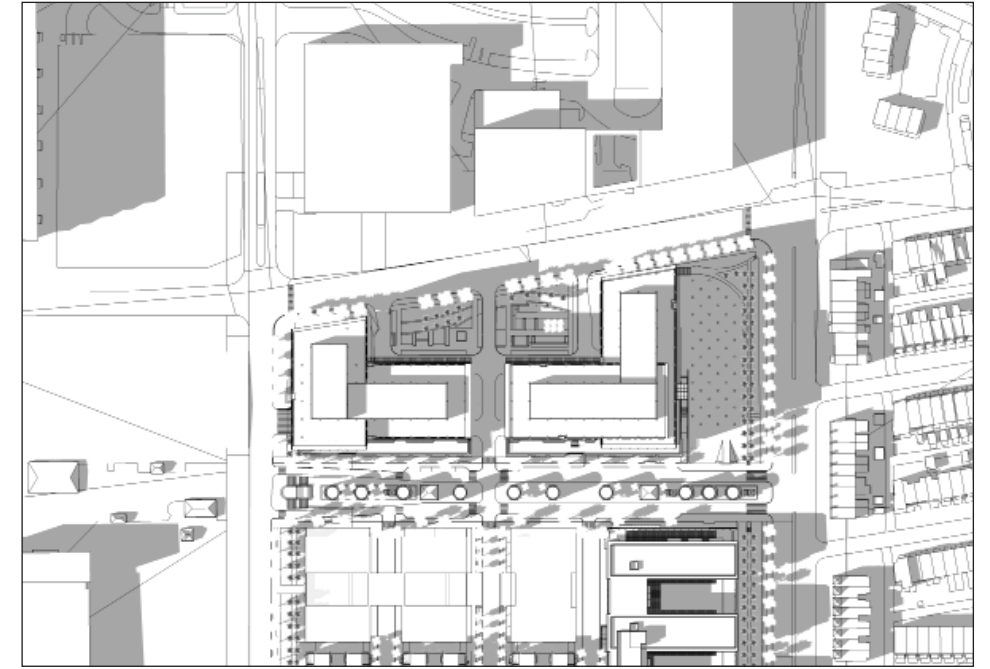
These shadow studies represent early morning, midday and late afternoon during the equinoxes and solstices. The study shows that the shadows cast by medical office buildings do not impact the townhomes along North Capitol in Stronghold during the study period, except for late afternoon during the winter solstice. On the winter solstice the sun sets very close to the late afternoon study period at 4:49pm.



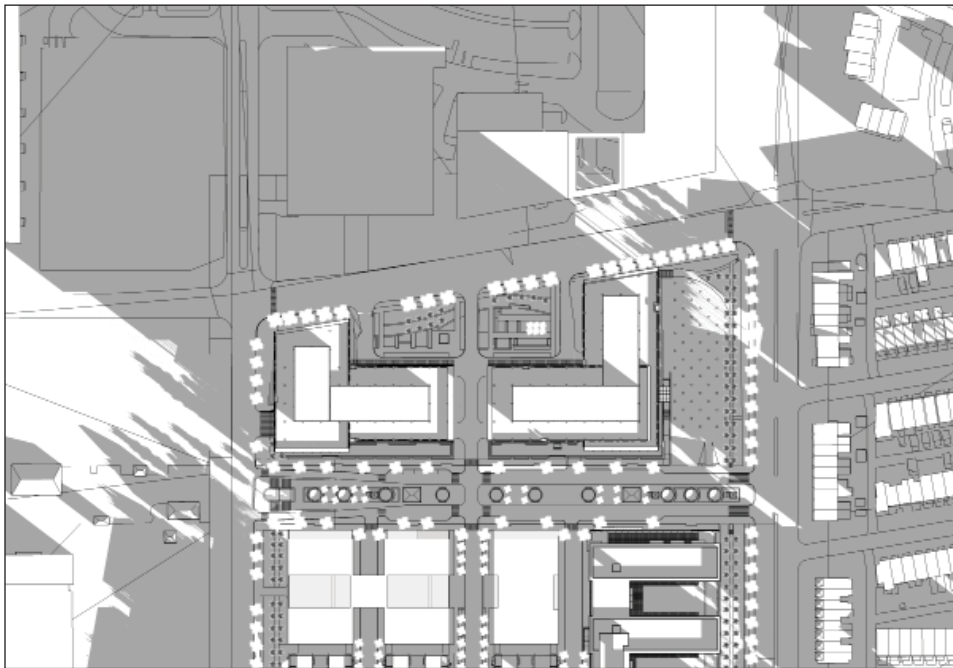
SEPTEMBER 21st 8:00am



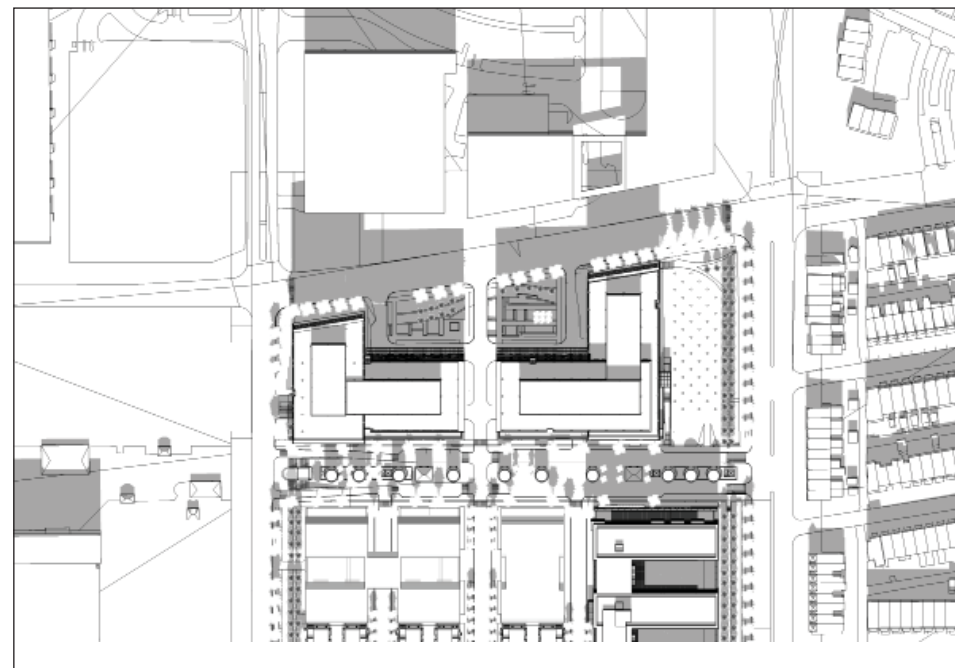
SEPTEMBER 21st 12:00pm



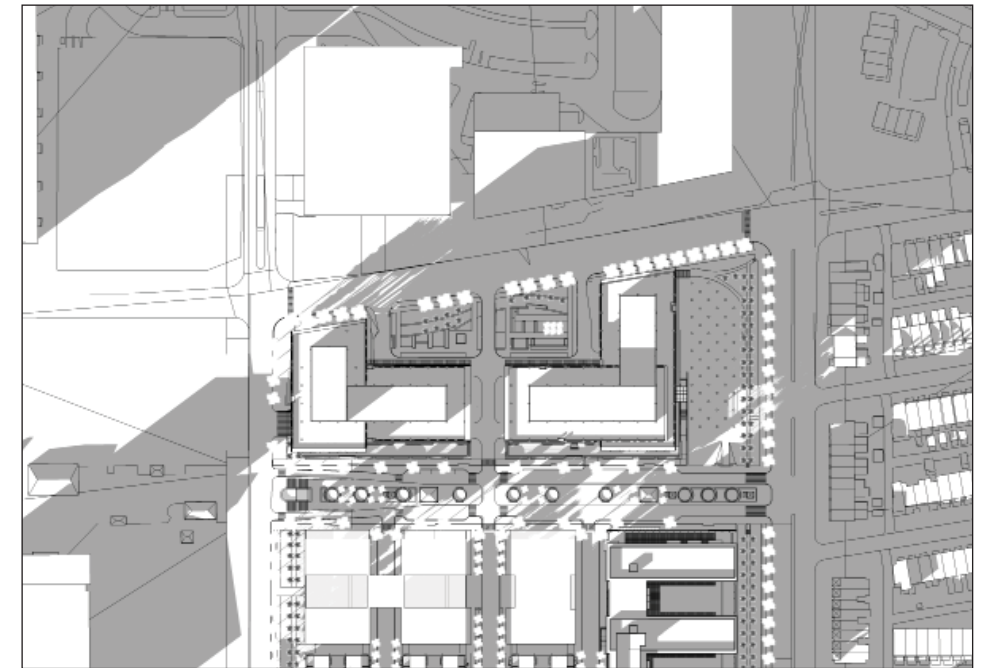
SEPTEMBER 21st 4:00pm



DECEMBER 21st 8:00am



DECEMBER 21st 12:00pm



DECEMBER 21st 4:00pm

